

923 SW 29th Street Palm City, FL "Vacant Lot"



Discover this ready to be developed vacant lot in the heart of Old Palm City FL. The lot is close to restaurants parks, A rated schools, shopping, turnpike, I 95, river, boat ramp and many other recreational facilities. The property on the west side can't be developed and the two properties on the east are renovated Key West style homes. There are no deed restrictions or HOA regulations. Bring your boat and build your dream home!



www.landmarkinvestmentsflorida.com



Mel Robinson
Broker/Agent
772-708-1518



Stuart

Palm City Bridge



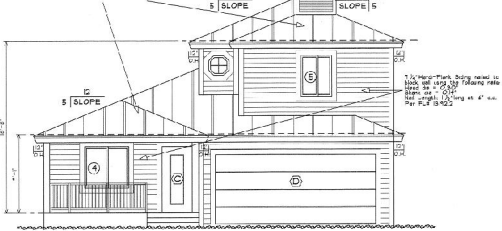
St Lucie River



Mapp Rd

Plans submitted to building department

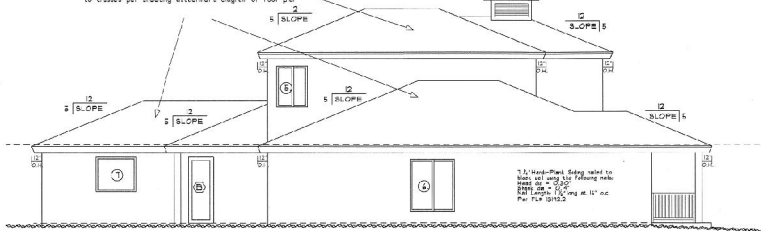
Southeastern Metals 24 ga 2x 6 Crp Metal Roofing installed per product approval PLS 1175, over Polyglass self adhered roofing underlayment over 1/2" CDX plywood attached to trusses per sheathing attachment diagram on roof plan.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

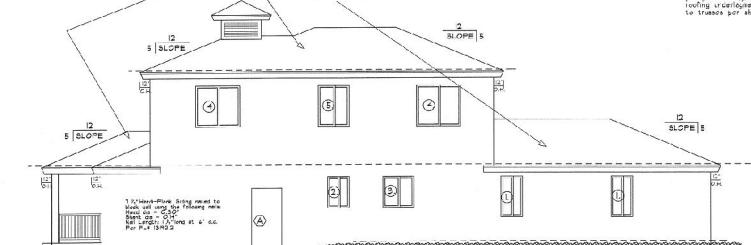
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LEFT ELEVATION

SCALE: 1/4" = 1'-0"

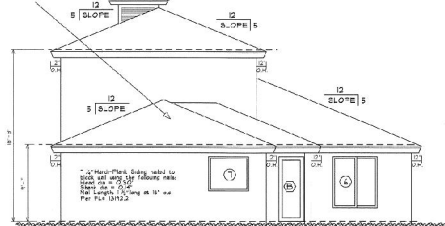
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RIGHT ELEVATION

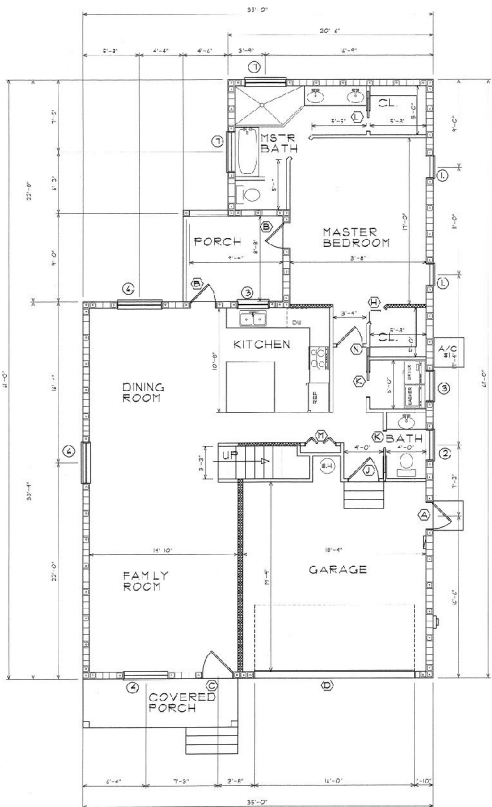
SCALE: 1/4" = 1'-0"

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



Window Schedule		
Mark	Size	Window Description
1	2'-2" x 4'-2"	HORIZONTAL SILLER
2	2'-2" x 2'-2"	HORIZONTAL SILLER
3	2'-2" x 2'-2"	HORIZONTAL SILLER
4	4'-2" x 4'-2"	HORIZONTAL SILLER
5	2'-2" x 4'-2"	HORIZONTAL SILLER
6	4'-2" x 6'-2"	HORIZONTAL SILLER
7	4'-2" x 2'-2"	FIXED GLASS
8	6'-2" x 6'-2"	OCTA. WINDOWS

- ALL Windows to be white ESF aluminum window unit tint.
 - Provide material and structure markers per instructions. See product approval chart for window manufacturer information.
 - ALL windows to utilize Treasures stored in Permit Information Box on this site.
 - ALL windows in bedrooms to be tempered.
 - ALL windows within 18" of finished floor to be tempered unless impact rated.
 - Verify all masonry/rough opening sizes prior to ordering windows.

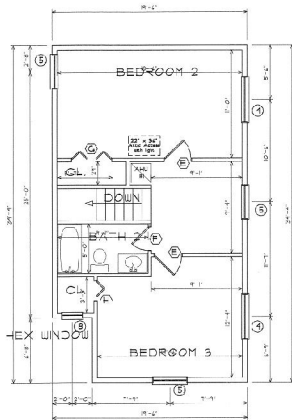
Door Schedule		
Mark	Size	Door Description
A	3'-0" x 2'-4"	SOLID CORE - UOOD
B	3'-4" x 2'-4"	12 LITE FIBERGLASS FRENCH
C	3'-0" x 6'-8"	12 LITE FIBERGLASS FRENCH
D	10'-0" x 7'-0"	GARAGE DOOR
E	2'-2" x 2'-4"	SOLID CORE - UOOD
F	2'-4" x 2'-4"	SOLID CORE - UOOD
G	(2) 2'-0" x 4'-8"	SOLID CORE - UOOD - B-FOLDING
H	2'-0" x 6'-8"	SOLID CORE - UOOD - B-FOLDING
J	3'-0" x 2'-8"	FOAM FILLED FIBERGLASS PANEL
K	2'-4" x 2'-4"	SOLID CORE - UOOD - POCKET
L	2'-0" x 2'-4"	SOLID CORE - UOOD - POCKET
M	(2) 1'-0" x 2'-4"	SOLID CORE - UOOD - B-FOLDING
N	2'-4" x 2'-4"	SOLID CORE - UOOD

- ALL exterior doors including garage doors to withstand pressures indicated in permit information box on these plans.
 - Verify all masonry/rough opening sizes prior to ordering windows.
 - See product approval chart on these plans for exterior door manufacturer information (including garage door).
 - Provide one exit door (swing type) that is 5'-0" wide minimum and one emergency escape door (swing direction).
 - If escape door has glazing then it must be impact resistant and shall NOT be this garage. This may be the same door if it meets both criteria listed above.



Date Drawn: 11/15/2017
 Drawn by: M.C. McGOVONS
 Checked by: M.C. McGOVONS
 Date: 11/15/2017
 Project: 170724-1000
 Client: MRS. McGOVONS
 Address: 11111 S. W. 111th Ave., Miami, FL 33176
 Phone: (305) 555-1234
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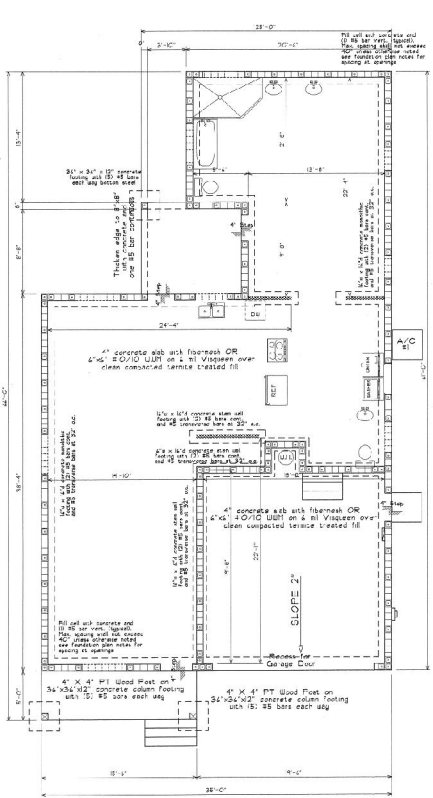
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SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

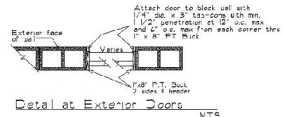
Date Drawn: 08-15-15
 Drawn By: B.J.E. by
 Checked By: C.R.E.
 Residence For: M. E. MRS. ACCOYONG
 Address: Phoenix, AZ
 11317 24th Street
 Phoenix, AZ 85024
 Sheet: 4
 Of 7
 Core #: B-155



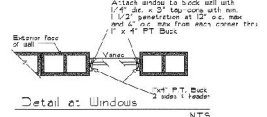
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- Any changes to plans must be submitted to the architect for approval before proceeding with construction.
- Contractor shall be responsible for verification of all notation and dimensions prior to start of construction.
- All concrete used for walls shall be 3000 PSI concrete min. and ALL concrete used for vertical filled cells, continuous tie beams etc. to shall be 3000 PSI concrete min. and 4000 PSI grout min.
- Soil conditions assumed to be 2500 psf and stable. This shall be confirmed by soil borings which shall be provided in writing to the firm by owner/contractor prior to start of any construction.
- Verify all rebar thickness at lower floor. All floor finishes as selected by owner, door sills, thresholds, etc. prior to placing any slabs.
- Contractor to provide filled cell with concrete and 1 #5 bar vert. at 18" o.c. max. Provide (3) filled cells on each side of openings up to 8'-11" and provide (2) filled cells on each side of openings from 10'-0" and up. Contractor to see plans for any other condition used. Foundation walls shall have (1) #5 cells at 24" o.c. (area otherwise noted, base applied).
- Contractor to provide for Form Board Survey - Form Board Survey to be provided to Truss Company prior to truss construction.
- All Reinforcing steel shall be grade 60, meeting ASTM A & inc A-36 specifications. ALL Anchors to be A-307 steel.
- Provide a minimum of 3" concrete protection of footings and 1 1/2" concrete protection of beams for ALL reinforcing bars.
- Contractor to provide the Architect with truss shop drawings, including ALL truss elevations showing ALL truss reactions prior to START OF CONSTRUCTION WORK for strap and footing size verification.
- 2" x 4" beam stud walls - see sections, leads to all walls in bedrooms 1 & 2 between A/C inc Non A/C spaces.



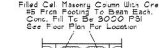
Detail at Exterior Doors NTS



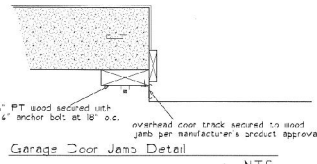
Detail at Windows NTS



Single Filled Cell Column NTS



Double Filled Cell Column NTS

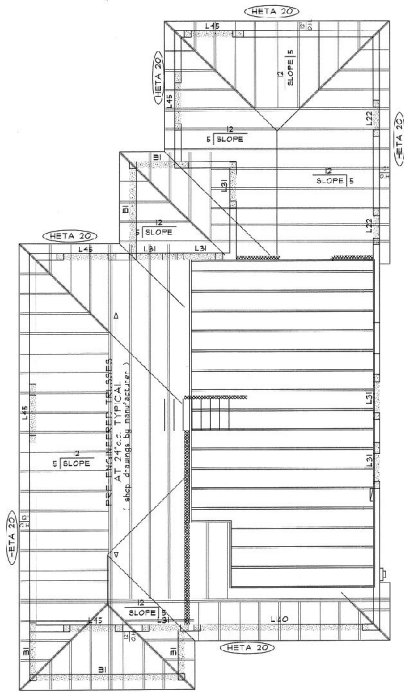


Garage Door Jamb Detail NTS

ALL GARAGE DOORS AS SPECIFIED IN PRODUCT APPROVAL ON THESE PLANS. DOORS TO MEET WIND PRESSURE STATED IN PERMIT INFO BOX ON THESE PLANS.

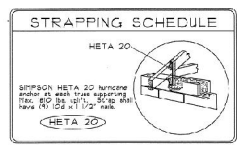
Termita Protection for New Construction as per F.B.C. 161.1 CONTRACTOR TO REFERENCE I.D.C. BUILDING 161 FOR FURTHER REQUIREMENTS
 Soil treated as per aforementioned termita prevention inside the house. Termita shall be done after all excavation, scaffolding and compact is complete.
 If soil area is disturbed after initial chemical soil treatment, area shall be re-treated with a chemical soil treatment including spaces boxed or framed.
 Treatment must be in accordance with the rules and laws established by the Florida Department of Agriculture and Forestry.
 Protective sleeves around joist penetrating concrete slab on grade floor shall not be of cellulose-encasing type and shall have a min. wall thickness of 0.200" and shall be sealed within the slab using a nonconductive epoxy. Epoxy to adhere the sleeve before concrete slab and sleeve are placed. Epoxy shall be sealed under the sleeve per ABC Building 202.1.

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 Address: Phoenix, AZ
 11317 24th Street
 Phoenix, AZ 85024
 Sheet: 4
 Of 7
 Core #: B-155



SECOND FLOOR FRAMING / LOWER ROOF PLAN

- TYPICAL NOTES:** Scale: 1/4" = 1'-0"
- All Plywood sub-flooring to be saturated w/ Thompson's water seal immediately after installation for leak protection.
 - Overhang at 2'-0" unless otherwise noted on this sheet.
 - Roof pitch at 5/12 unless otherwise noted.
 - Truss shop drawings to be provided by manufacturer.
 - Any changes to this plan shall be submitted to the architect for approval in writing prior to starting construction.
 - ALL TRUSS TO TRUSS CONNECTIONS BY TRUSS MANUFACTURER
 - Architect to review Truss Shop Drawings Prior to construction for layout and uplift verification.
 - Provide fire stop blocking at all floor trusses dividing the floor area into 500 sq. ft. (Max.) spaces.



Truss Type	Span	Depth	Clear Span	A" Brs	B" Brs
1-10	10'-0"	2'-6"	10'-0"	2x3	none
2-12	12'-0"	2'-6"	12'-0"	2x3	none
3-14	14'-0"	2'-6"	14'-0"	2x3	none
4-16	16'-0"	2'-6"	16'-0"	2x3	none
5-18	18'-0"	2'-6"	18'-0"	2x3	none
6-20	20'-0"	2'-6"	20'-0"	2x3	none
7-22	22'-0"	2'-6"	22'-0"	2x3	none
8-24	24'-0"	2'-6"	24'-0"	2x3	none
9-26	26'-0"	2'-6"	26'-0"	2x3	none
10-28	28'-0"	2'-6"	28'-0"	2x3	none
11-30	30'-0"	2'-6"	30'-0"	2x3	none

INTEL SCHEDULE

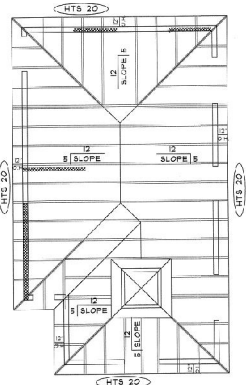
Intel No.	Intel Type	Intel Description	Qty	Unit	Est. Cost	Per. Cost
101	1x4	1x4 SIPS	1	sq. ft.	100	100
102	1x6	1x6 SIPS	1	sq. ft.	150	150
103	1x8	1x8 SIPS	1	sq. ft.	200	200
104	1x10	1x10 SIPS	1	sq. ft.	250	250
105	1x12	1x12 SIPS	1	sq. ft.	300	300
106	1x14	1x14 SIPS	1	sq. ft.	350	350
107	1x16	1x16 SIPS	1	sq. ft.	400	400
108	1x18	1x18 SIPS	1	sq. ft.	450	450
109	1x20	1x20 SIPS	1	sq. ft.	500	500
110	1x22	1x22 SIPS	1	sq. ft.	550	550
111	1x24	1x24 SIPS	1	sq. ft.	600	600
112	1x26	1x26 SIPS	1	sq. ft.	650	650
113	1x28	1x28 SIPS	1	sq. ft.	700	700
114	1x30	1x30 SIPS	1	sq. ft.	750	750

Date Drawn: _____
 Drawn by: _____
 Checked by: _____
 Scale: _____
 Project No.: _____
 Revision: _____

Architect: **Bradford & Braden, AIA, P.A.**
 1100 N. 1st St., Suite 100
 Philadelphia, PA 19107
 Phone: (215) 261-1111
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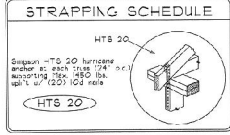
Engineer: **Mr. & Mrs. J. C. Covino**
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 Fax: (215) 261-1112
 Email: info@bradfordbraden.com

Sheet: **01**
 Case # **15-155**



ROOF PLAN

- TYPICAL WORK NOTES:** Scale: 1/4" = 1'-0"
- Overhang shall be 1'-0" unless otherwise noted on this sheet.
 - Roof pitch shall be 5/12 unless otherwise noted on this sheet.
 - Truss shop drawings to be provided by manufacturer.
 - Any changes to this plan shall be submitted to the architect for approval in writing prior to starting construction.
 - ALL TRUSS TO TRUSS CONNECTIONS BY TRUSS MANUFACTURER
 - Architect to review Truss Shop Drawings Prior to construction for layout and uplift verification.
 - Contractor to provide for Form Board Survey and to provide Form Board Survey to Truss Company prior to truss construction.
 - Contractor to provide the Architect with truss shop drawings including ALL truss cut sheets showing ALL truss reactions prior to START OF FOUNDATION WORK for size and footing size verification.
 - TRUSS DEFLECTION SHALL NOT EXCEED 0.5" ON ANY TRUSS.



ROOF SHEETING ATTACHMENT DETAIL

1. Minimum Nail Size = #8 ring shank (min 2' org)
 2. Minimum Spacing = 4" x 4" @ 8" max spacing
 3. Minimum Sheathing Thickness = 1/2" CDX Plywood
 Use nail on truss chord or rafter for truss attached in permit info box or these plans for zone 3

Zone	Area	Edge	Field	Fastener	Spacing
Zone 1	4'	4'	4'	#8 ring shank	48" pd
Zone 2	4'	4'	4'	#8 ring shank	48" pd
Zone 3	4'	4'	4'	#8 ring shank	84" pd
Zone 4	4'	4'	4'	#8 ring shank	84" pd

Use note on areas based on project for roof attached in permit info box on these plans for zone 3

Date Drawn: _____
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Sheet: **01**
 Case # **15-155**

29th Street lot details



- 60 x 150 lot with a southern exposure
- New septic and drain field is installed
- Quasi approved lot for a 2,560 SQ FT home
- Lot has been filled and cleared
- Footer and rebar are installed “ready for ruff plumbing, electric and slab”
- Prints are submitted to building department and has met all CRA requirements for improvement
- No structure can be build to the west